

PROJECT INFORMATION

SITE DATA

SITE ZONING:	C3
NEW DEVELOPED AREA:	8633 SQ. FT.
BUILDING SIZE	2561 SQ. FT.
PARKING REQUIRED (1 PER 200 SQ FT)	13 SPACES
PAVED PARKING SPACES:	12 + 1 ACCESSIBLE / VAN ACCESSIBLE SPACE (3 COVERED)

BUILDING DATA

CONSTRUCTION TYPE (IBC CH. 6):	IIIA
BUILDING USE:	BUSINESS
COVERED BUILDING AREA	2,561 SQ. FT.
TOTAL FIRE AREA	2,561 SQ. FT.
ALLOWABLE FIRE AREA:	19,000 SQ.FT
FULLY ENCLOSED SPACE:	2,561 SQ. FT.
CONDITIONED SPACE:	534 SQ. FT.
NOMINAL EYE HEIGHT:	12 FT
NOMINAL RIDGE HEIGHT:	16 FT
ALLOWABLE RIDGE HEIGHT:	35 FT COB STANDARDS TABLE 62-162

CODES AND REGULATIONS

BUILDING CODE:	2021 IBC
ELECTRIC CODE:	2020 NEC
MECHANICAL CODE:	2021 IMC
PLUMBING CODE:	2021 IPC
ACCESSIBILITY:	TAS 2012, ANSI 117.1-2017
ENERGY CODE:	2018 IECC

IBC CHAPTER 3: USE OR OCCUPANCY

BUSINESS - CATEGORY B

IBC CHAPTER 5: GENERAL BUILDING LIMITATIONS

BUILDING CAPACITY SHALL NOT EXCEED 300 PERSONS
 BUILDING SIZE SHALL NOT EXCEED 41,125 SQ. FT.
 NO OTHER BUILDINGS SHALL BE BUILT WITHIN 30 FT OF THE PERIMETER OF THE BUILDING

IBC CHAPTER 6: TYPES OF CONSTRUCTION

TYPE IIIA

IBC CHAPTER 7: FIRE RESISTANCE RATED CONSTRUCTION

PRIMARY STRUCTURE:	1 HR
EXTERIOR BEARING WALLS	1 HR
INTERIOR BEARING WALLS	1 HR
EXTERIOR NON-BEARING WALLS	0 HR
INTERIOR NON-BEARING WALLS	0 HR

IBC CHAPTER 8: INTERIOR FINISHES

ACCESS STAIRWELLS:	ASTM E84 CLASS A
ENCLOSED ROOMS AND SPACES:	ASTM E84 CLASS C

CHAPTER 9: FIRE PROTECTION SYSTEMS

NO AUTOMATIC FIRE SPRINKLER SYSTEM REQUIRED OR PROVIDED
 ALL ASSOCIATED REQUIREMENTS OF CH'S 7 AND 9 OF THE 2015 IBC SHALL BE OBSERVED

CHAPTER 10: OCCUPANCY AND EGRESS

OCCUPANCY BY AREA

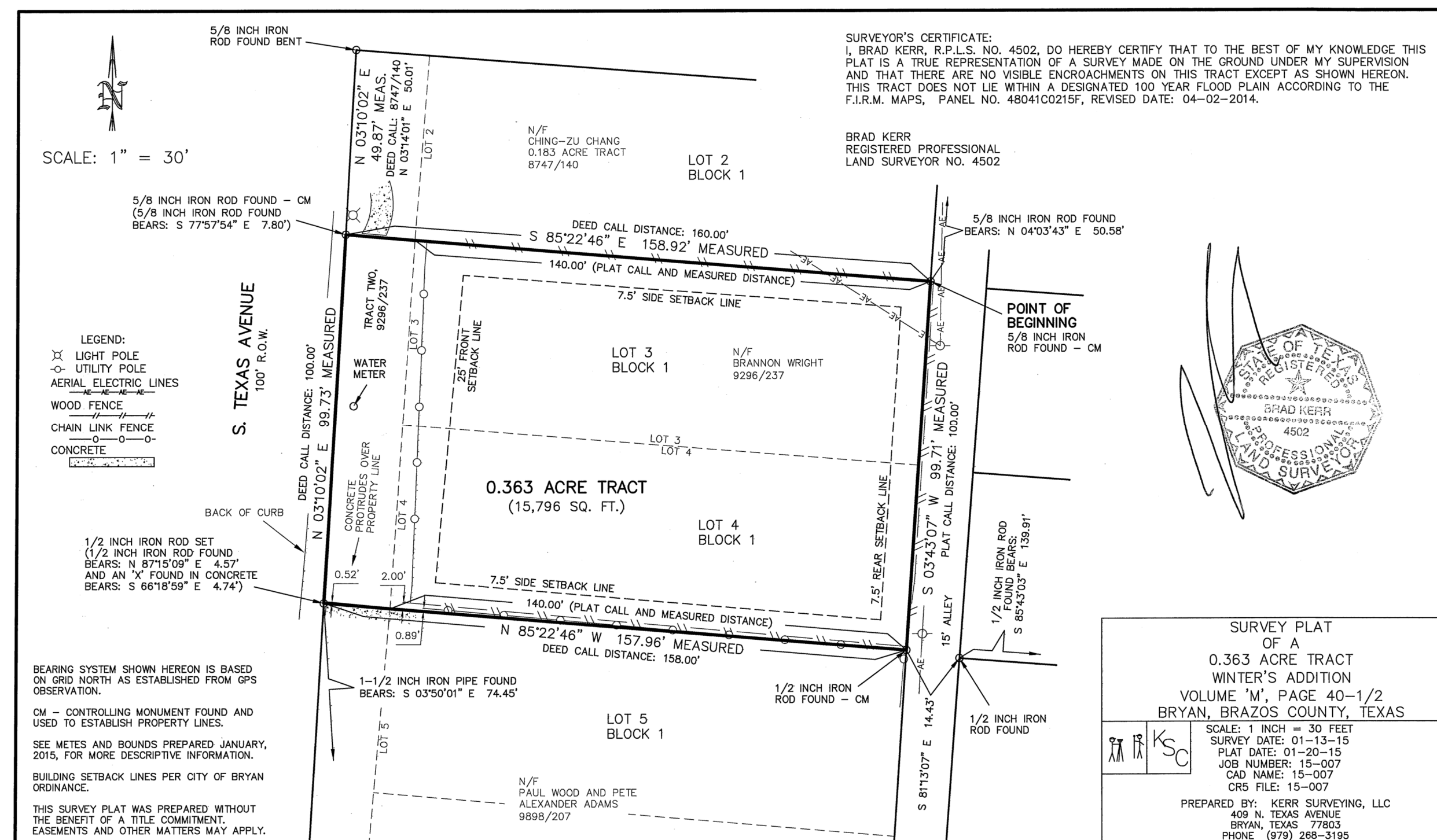
AREA LABEL	GROSS SQ. FT.	NET SQ. FT.	HEATED	COOLED	FACTOR (IBC TABLE 1004.5)	OCCUPANCY
R01 MECHANIC'S GARAGE	2021	1878	NO	NO	1 PER 200	10
R02 STORAGE AREA	286	234	YES	YES	1 PER 300	1
R03 OFFICE	191	129	YES	YES	1 PER 150	1
R04 RESTROOM	64	63	YES	YES	1 PER 200	0
Totals:	2562	2304	#REF!	#REF!		12

EGRESS REQUIREMENTS

Maximum Allowable Travel Distance to Egress:	200 FT
Maximum Travel Distance Provided:	40 FT
Minimum number of Egress Locations:	2
Number of Egress Locations Provided:	3
STAIRWELL WIDTH REQUIRED:	N/A
STAIRWELL WIDTH PROVIDED:	N/A

IBC CH 29: PLUMBING CODE

	MEN	WOMEN	Other	TOTAL
OCCUPANCY BUSINESS	6	6		12
WATER CLOSETS REQUIRED / PROVIDED	0	0	1/1	1/1
LAVATORIES REQUIRED / PROVIDED	0	0	1/1	1/1
WATER FOUNTAINS REQUIRED / PROVIDED			1/1	1/1
SERVICE SINK REQUIRED / PROVIDED			1/1	1/1



Label	Title
CS	COVER SHEET
H1	SUPPLEMENT H
H2	SUPPLEMENT H ELEVATIONS
SP	SITE PLAN
LP	LANDSCAPE PLAN
EGP	EROSION CONTROL PLAN

DRAWINGS PROVIDED BY:

THE **Ben Brown** GROUP

(979) 739-2002

3709 SWEETBRIAR DRIVE
 BRYAN, TEXAS
 77802

IN CONJUNCTION WITH:

SHEET TITLE:

COVER SHEET

PROJECT DESCRIPTION:

**1009 S. TEXAS AVENUE
 BRYAN, TEXAS
 LOTS 3-4, BLOCK 1
 WINTERS SUBDIVISION**

CLIENT INFORMATION:

JAVIER SALDANA

SEAL

DATE:

3/15/2022

SCALE:

FULL SCALE 24"X36"

SHEET:

CS

DRAWINGS PROVIDED BY:



(979) 739-2002

3709 SWEETBRIAR DRIVE
BRYAN, TEXAS
77802

IN CONJUNCTION WITH:

SHEET TITLE:

SUPPLIMENT H

PROJECT DESCRIPTION:

1009 S. TEXAS
AVENUE
BRYAN, TEXAS
LOTS 3-4, BLOCK 1
WINTERS SUBDIVISON

CLIENT INFORMATION:

JAVIER
SALDANA

SEAL

DATE:

3/15/2022

SCALE:

FULL SCALE 24"X36"

SHEET:

H1

Building Design Review Worksheet

Use this worksheet below to determine how many Design Review points the project requires.

1. Base Points <i>NOTE: Developers with multiple buildings are required to earn the applicable number of points for each building. All points are earned cumulatively. Use a separate worksheet and scoring sheet for each building.</i> Enter 1 base point if the finished floor area of the proposed building is less than 5,000 square feet; enter 4 base points if greater.	Total Base Points Required	1
2. Additional Requirements <i>Additional points must be earned for each of the following design feature (except as noted).</i>		
a. Enter 1 if the building facade exceeds 200 feet in width without entrances at least every 50 feet.		
b. Enter 1 if the individual use is greater than 50,000 square feet.		
c. Enter 1 if the building is a pad-site building with a drive-in or drive-through.		
d. Enter 1 if the building is a pad-site building and is separated from other buildings by surface parking on at least two sides.		
e. Enter 1 if concrete block (not including decorative concrete block) is used on more than 25 percent of a facade visible to the public.		
f. Enter 2 if concrete block (not including decorative concrete block) is used on more than 75 percent of a facade visible to the public. <i>(Note: If you entered 2 for this requirement, you will need 1 additional point to meet the previous requirement.)</i>		
g. Enter 1 if EIFS is used as a wall system (not including heavy foam moldings) on the ground floor below 10 feet.		
h. Enter 2 if the building is a typical pre-engineered metal building where wall panels such as "R" or "M" panels are used on more than 20 percent of a facade visible to the public.		
Total Additional Points Required		2
TOTAL BASE POINTS & ADDITIONAL POINTS REQUIRED FOR PROPOSED BUILDING		3
TOTAL POINTS EARNED FOR PROPOSED BUILDING (as per attached scorecard)		6

Design Review ScoreSheet

Design Options	Description / Comments	Points Earned
1. Enter 1 point for each liner store in building facade provided.	A liner store is a commercial use on the ground floor of a building located not more than 30 feet from the street right-of-way with an entrance facing the street.	
Short description of how points are earned		
2. Enter 1 point per method used from the list to the right for providing facade articulation for at least two facades of the building. No more than 2 points allowed.	"Facade articulation" shall consist of one of the following design features: a. Changes in plane with a depth of at least 24 inches, either horizontally or vertically, at intervals of not less than 20 feet and not more than 60 feet; b. Changes of texture or material, either horizontally or vertically, at intervals of not less than 20 feet and not more than 60 feet; c. A repeating pattern of wall recesses and projections, such as bays, offsets, reveals or projecting ribs, that has a relief of at least eight inches.	
Short description of how points are earned		
3. Enter 1 point if a primary entrance design is provided.	"Primary entrance design" shall consist of at least three of the following design elements at the primary entrance, so that the primary entrance is architecturally prominent and clearly visible from the abutting street: a. Architectural details such as arches, friezes, the work, murals, or moldings; b. Integral planters or wing walls that incorporate landscape or seating. c. Enhanced exterior light fixtures such as wall sconces, light covers with concealed light sources, ground-mounted accent lights, or decorative pedestal lights. d. Prominent three-dimensional features, such as belfriss, chimneys, clock towers, domes, spires, steeples, towers, or turrets. e. A repeating pattern of pilasters projecting from the facade wall by a minimum of eight inches or architectural or decorative columns.	

Short description of how points are earned		
4. Enter 1 point if any building materials listed to the right are used for 60% or more of three most visible building facades, not including window or door area.	<ul style="list-style-type: none"> • cementations siding • decorative exposed concrete, or • wood. 	
Short description of how points are earned		
5. Enter 1 point if providing shelter integrated into building form alongside the building (as determined by a ramp user) of the contiguous linear ramp section closest to the building. If a rear ADA ramp is also provided as part of the building design, it shall also meet the requirements of this section. Such shade devices shall have a maximum canopy height of 15 feet. B. Principal building entrances shall be located under a shade device such as a building projection or recess in building face with a minimum depth of 6 feet and maximum canopy height of 20 feet.	In order to be awarded points for this item projects shall meet the following shade and shelter requirements: A. If provided, at least one ADA ramp alongside the building must be shaded to a minimum of 2 times the width (as determined by a ramp user) of the contiguous linear ramp section closest to the building. If a rear ADA ramp is also provided as part of the building design, it shall also meet the requirements of this section. Such shade devices shall have a maximum canopy height of 15 feet. B. Principal building entrances shall be located under a shade device such as a building projection or recess in building face with a minimum depth of 6 feet and maximum canopy height of 20 feet.	
Short description of how points are earned		
6. Enter 1 point if providing glazing on at least 20 percent of wall area between two and ten feet above grade on first floor, for at least two facades of the building.	At least one-third of the total area of all glazing on ground-floor facades that face the principal street shall have a Visible Transmittance (VT) of 0.4 or higher.	
Short description of how points are earned		
7. Enter 1 point if 100% of glazing on ground-floor facades have a Visible Transmittance (VT) of 0.4 or higher on facades that face any street or parking lot.	At least one-third of the total area of all glazing on ground-floor facades that face any street or parking lot.	
Short description of how points are earned		

8. Enter 3 points if any building materials listed to the right are used for 60% or more of three most visible building facades, not including window or door area.	<ul style="list-style-type: none"> • natural stone, • unpainted brick, • 3-step hard coat cementitious stucco, • unpainted integrally colored decorative concrete block, • tile, • composite metal panels, or • smooth zinc panels. 	3
Description of how points are awarded		
9. Enter 3 points if providing glazing on at least 40 percent of wall area between two and ten feet above grade on first floor, for at least two facades of the building.	At least one-third of the total area of all glazing on ground-floor facades that face the principal street shall have a Visible Transmittance (VT) of 0.4 or higher.	
Description of how points are awarded		
10. Enter 3 points if the design of the building is such that at least 75 percent of the facade facing the principal street consists of storefronts with at least two separate entrances.	The following entrance area requirements apply: A. If provided, at least one ADA ramp alongside the building must be shaded to a minimum of 2 times the width (as determined by a ramp user) of the contiguous linear ramp section closest to the building. If a rear ADA ramp is also provided as part of the building design, it shall also meet the requirements of this section. Such shade devices shall have a maximum canopy height of 15 feet. B. Principal building entrances shall be located under a shade device such as a building projection or recess in building face with a minimum depth of 6 feet and maximum canopy height of 20 feet.	
Description of how points are awarded		
11. Enter 3 points if providing shelter which is integrated into building form alongside at least 40 percent of all building facades adjacent to or facing the principal street or adjacent parking with maximum canopy height of 15 feet.	A. If provided, at least one ADA ramp alongside the building must be shaded to a minimum of 2 times the width (as determined by a ramp user) of the contiguous linear ramp section closest to the building. If a rear ADA ramp is also provided as part of the building design, it shall also meet the requirements of this section. Such shade devices shall have a maximum canopy height of 15 feet. B. Principal building entrances shall be located under a shade device such as a building projection or recess in building face with a minimum depth of 6 feet and maximum canopy height of 20 feet.	

Description of how points are awarded		
12. Enter 3 points if providing a sustainable roof.	"Sustainable roof" is roofing that has one of the following: a. For a minimum of 75 percent of the total roof surface, a Solar Reflectance Index (SRI) of 78 or higher for a roof with a slope of 2:12 or less, or 29 or higher for a roof with a slope greater than 2:12; or b. For a minimum of 50 percent of the total roof surface, a vegetated roof; c. For a minimum of 50 percent of the total roof surface, a rainwater collection system, connected to irrigation system or other building system through piping; or d. For a minimum of 75 percent of the total roof surface, a combination of a vegetated roof with rainwater collection system and SRI-compliant roof meeting the SRI standards listed in "a" above.	3
Description of how points are awarded		
13. Enter 3 points if providing onsite renewable energy which is integrated into the building design.	Examples may include, but are not limited to, rooftop solar panels or biomass boilers.	
Description of how points are awarded		
TOTAL POINTS EARNED FOR THIS BUILDING		6

I, the undersigned below, do certify that the information, descriptions and calculations are complete and accurate to the best of my knowledge.

Signature of architect or other designer: Matthew Padua

Date: 3/15/22

EXTERIOR COMMERCIAL COLOR PALETTE REVIEW Supplement J

Ordinance 2073 – Exterior Commercial Color Palette

General Requirements

- Please reference Sherwin-Williams color names and numbers on the submittal.¹
- Be advised, all colors are allowed; however, use of certain colors is limited based on the gross square footage of the building(s). Use of all limited colors is cumulative.
- For a list of limited colors please visit (www.bryantx.gov/colorpalette)

ENTER THE GROSS SQUARE FOOTAGE FOR THE PROPOSED BUILDING		Sq. Ft.
Enter color manufacturer, color name, and number ¹	Is this a limited color? ²	Enter the area of facade being painted this color. Percentage of the facade being painted this color.
SW 9178 IN THE NAVY	Yes / No <input checked="" type="checkbox"/>	551 Sq. Ft. 19 %
SW 705 PURE WHITE	Yes / No <input checked="" type="checkbox"/>	56 Sq. Ft. 2 %
SW 9164 ELUSIVE GREEN	Yes / No <input checked="" type="checkbox"/>	736 Sq. Ft. 26 %
	Yes / No	Sq. Ft. %
	Yes / No	Sq. Ft. %
TOTALS OF ALL FACADES BEING PAINTED		Sq. Ft. %



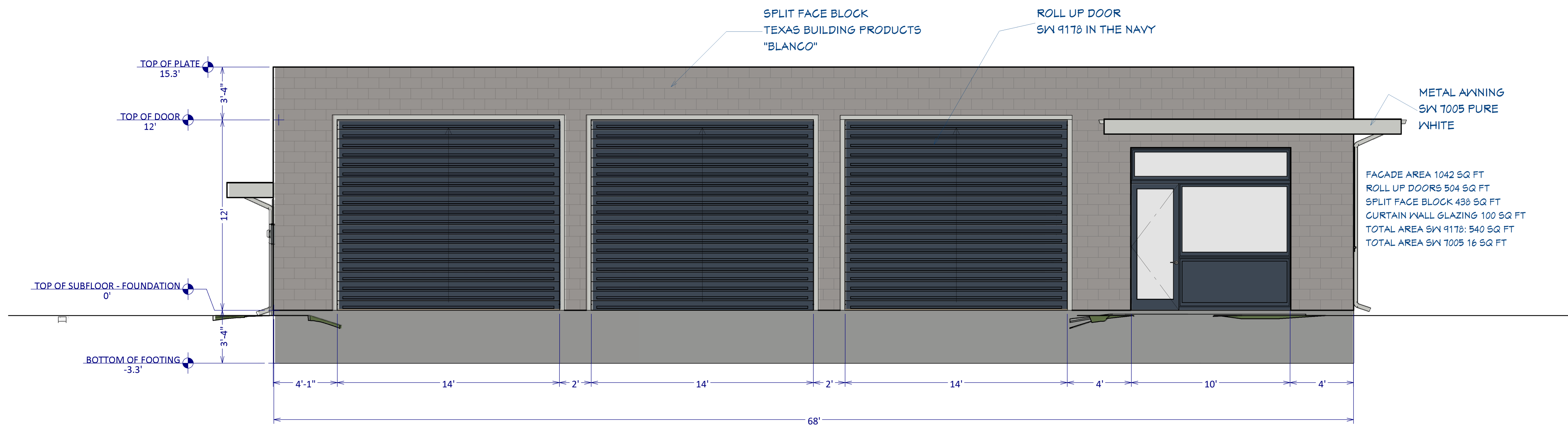
CITY OF BRYAN TEXAS

Limited Color Area Restrictions

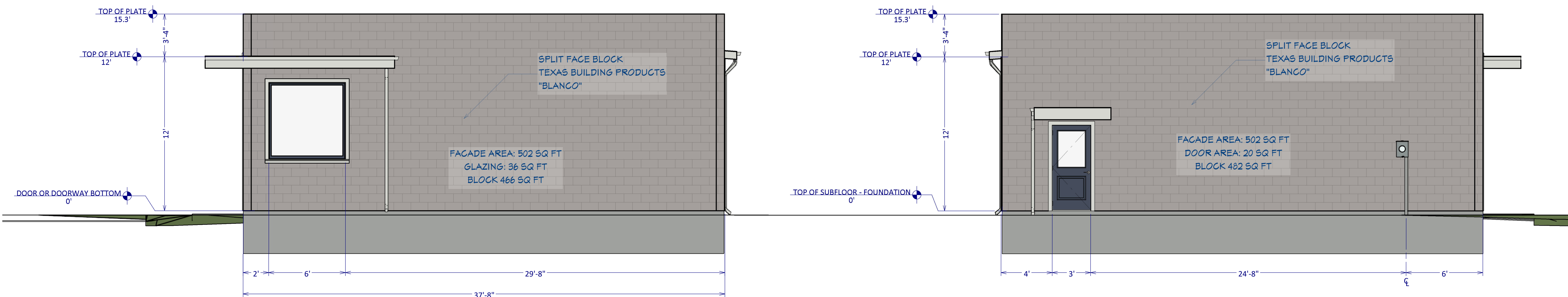
- 49,999 Sq. Ft. or Less = 15%
- 50,000 Sq. Ft. to 149,999 Sq. Ft. SF = 10%
- 150,000 Sq. Ft. or greater = 5%

¹Sherwin-Williams paints are not required; equivalents will be accepted. A universal color comparison tool can be found here <http://www.easyrgb.com/index.php?X=INT>

² Please see section 62-688 of the City of Bryan Land and Site Development Ordinance for a list of limited colors.

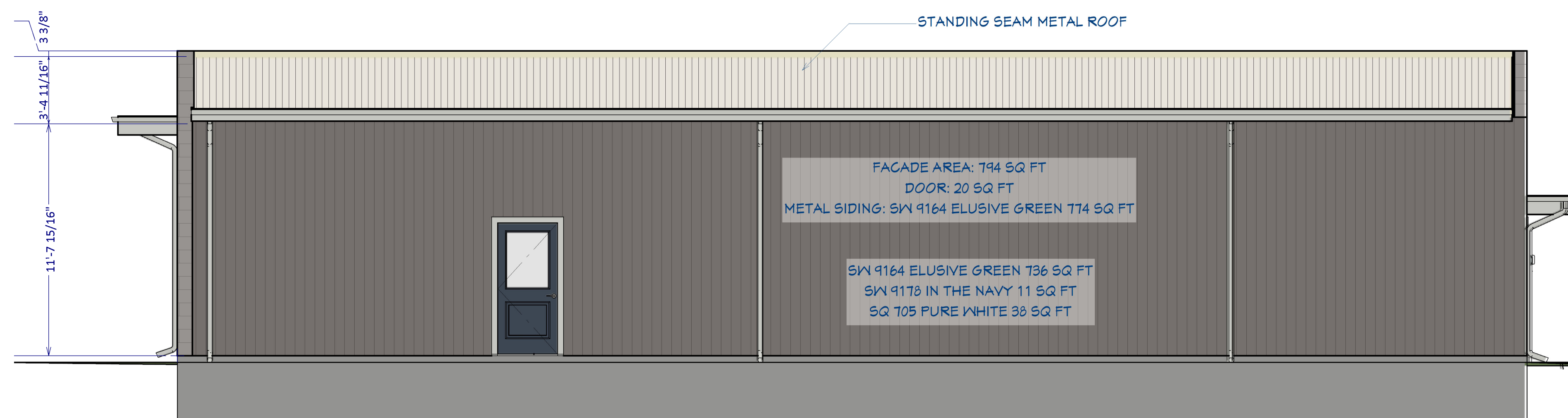


NORTH (FRONT) ELEVATION
1/4 in = 1 ft



WEST ELEVATION (SIDE TEXAS AVENUE SIDE)
1/4 in = 1 ft

EAST ELEVATION
1/4 in = 1 ft



SOUTH (BACK) ELEVATION
1/4 in = 1 ft

DRAWINGS PROVIDED BY:

THE
Ben Brown
GROUP

(979) 739-2002

3709 SWEETBRIAR DRIVE
BRYAN, TEXAS
77802

IN CONJUNCTION WITH:

SHEET TITLE:

SUPPLEMENT H
ELEVATIONS

PROJECT DESCRIPTION:

1009 S. TEXAS
AVENUE
BRYAN, TEXAS
LOTS 3-4, BLOCK 1
WINTERS SUBDIVISON

CLIENT INFORMATION:

JAVIER
SALDANA

SEAL

DATE:

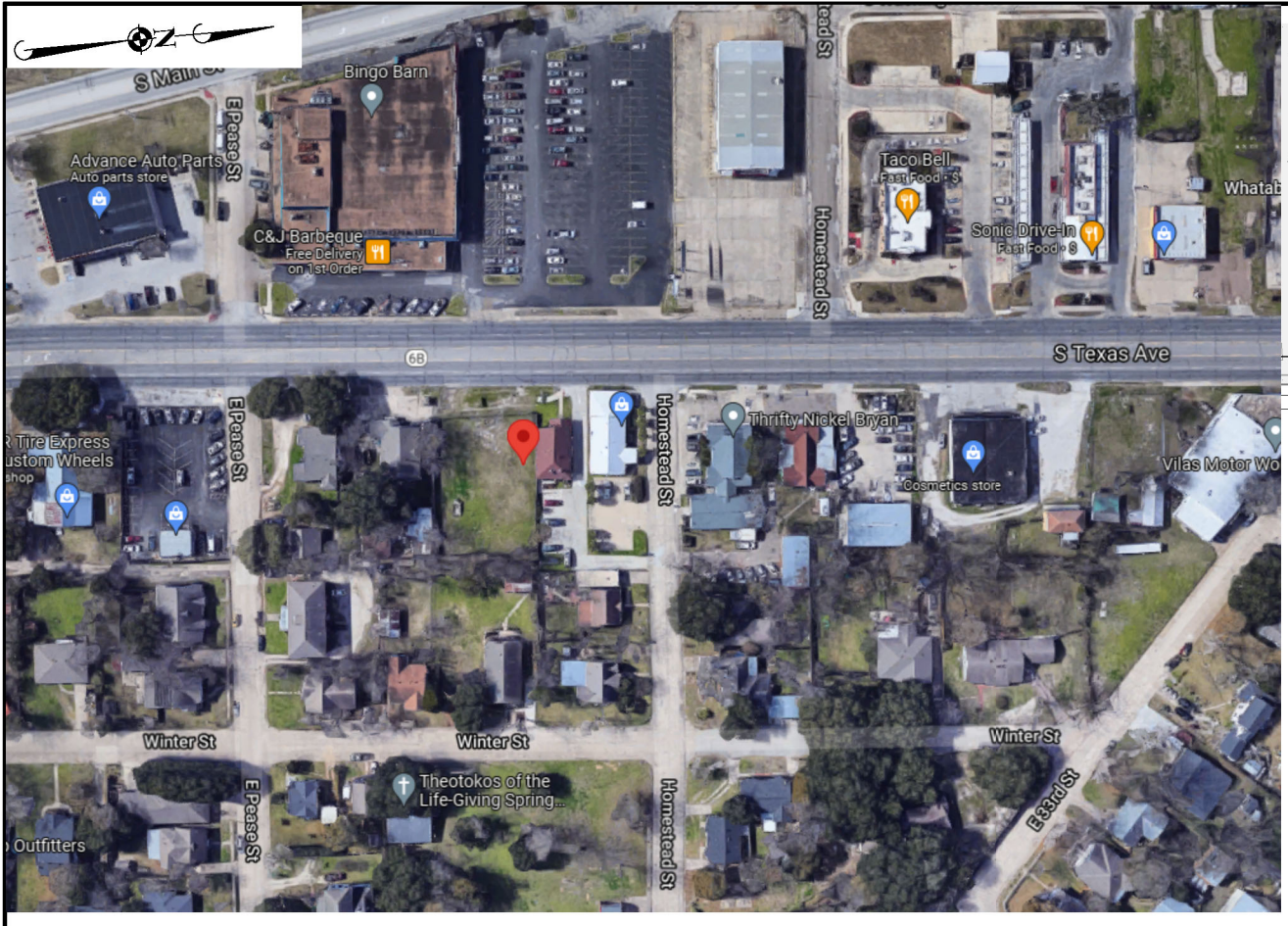
3/15/2022

SCALE:

FULL SCALE 24"X36"

SHEET:

H2



VACINITY MAP N.T.S.

PARKING REQUIREMENTS		
BUILDING AREA (SQ FT):	REQUIRED	PROVIDED
2561 SQ FT	13	14
PARKING REQUIRED 1 PER 200 SQ FT	13	14
ADA / VAN REQUIRED 2%	1	1
COVERED		3
STANDARD 9' X 20'		10

WINTERS
 LOT 5 & PART OF LOT 6, BLOCK 1
 0.2694 ACRES
 EVANS PALESTINE (LIFE ESTATE)
 & PETE A ADAMS
 1011 S TEXAS AVE BRYAN, TX 77803-4556
 C-3

WINTERS
 RD-5 LOT 10, BLOCK 1
 ROBERTO A BAZAN
 3073 POSITANO LOOP BRYAN, TX 77808-5441

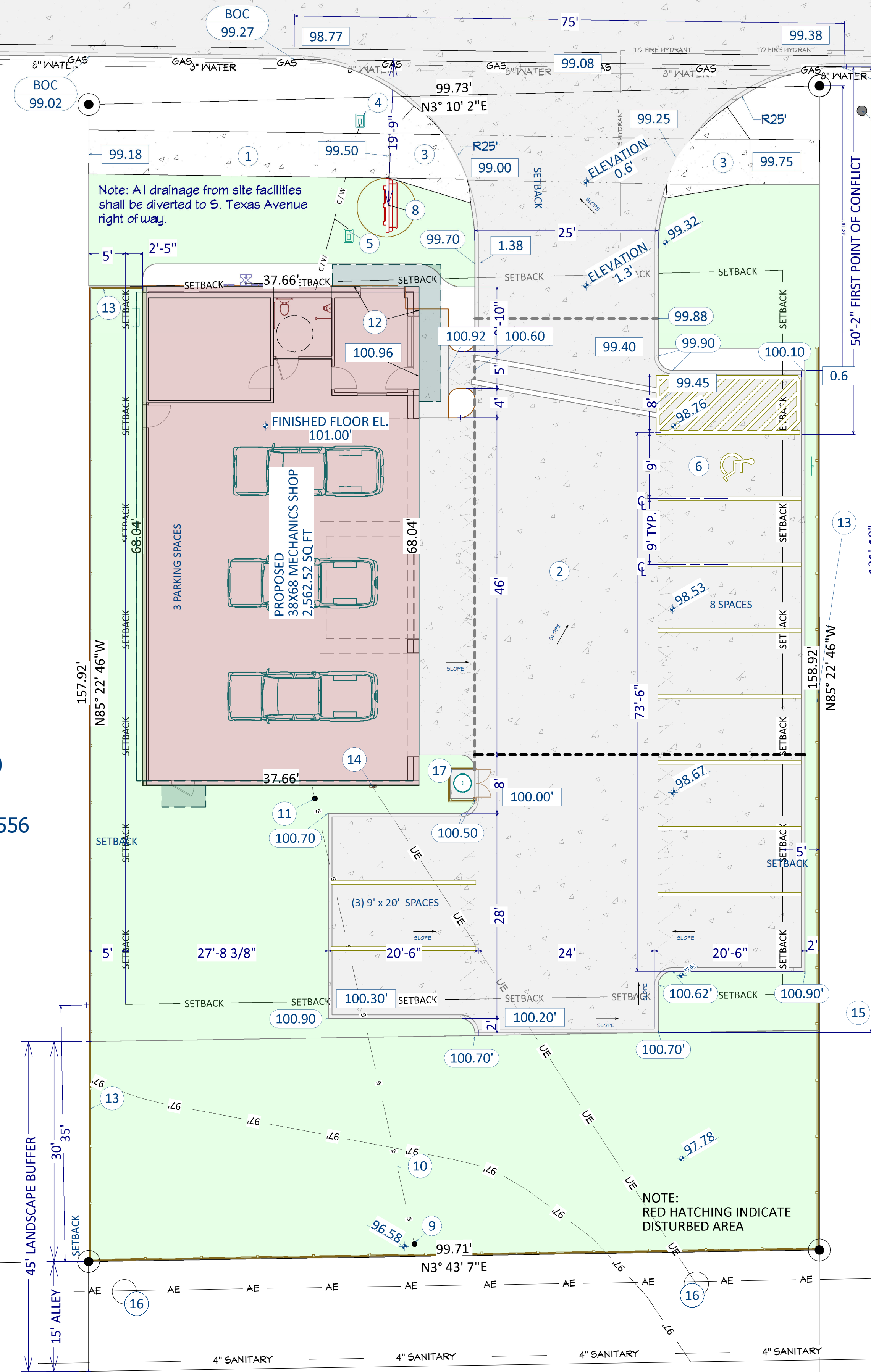
WINTERS
 RD-5 LOT 11-12, BLOCK 1
 DONALD KEITH SEWELL
 18699 ANASAZI BLUFF DR COLLEGE STATION, TX 77845-6459

WINTERS
 LOT 2, BLOCK 1
 CHANG, CHING-ZU
 6015 LOS ROBLES DR COLLEGE STATION, TX
 77845-6797
 C/O GERALD RISKOWSKI

WINTERS
 RD-5 LOT 13 & PT OF 4, BLOCK 1
 GERALD RISKOWSKI
 6015 LOS ROBLES DR COLLEGE STATION, TX 77845-6797

SOUTH TEXAS AVENUE 100' ROW

FIRE HYDRANT - APPROX. 100'



LEGEND	
— 97 —	EXISTING ELEVATION LINE
— 100' —	FINAL GRADE LINE
— TO FIRE HYDRANT —	FIRE LINE DISTANCE
— GAS —	UNDERGROUND GAS
— —	UNDERGROUND 8" WATER LINE
— SETBACK —	BUILDING SETBACK LINE
— 4" SANITARY —	EXISTING 4" SEWER MAIN
— S —	PROPOSED 4" SEWER LINE
-AE— AE—	EXISTING ARIEL ELECTRICAL
-UE—	PROPOSED UNDERGROUND ELECTRICAL
---	PAVING CONTRACTION JOINT
—	PAVING EXISTING / NEW
—	BUILDING FOOTPRINT
—	BUILDING OVERHANG
—	IMPROVED GRASSY AREA
(100.10)	PROPOSED BACK OF CURB ELEVATION
(100.00)	PROPOSED ELEVATION
+98.53	EXISTING GRADE

2D SYMBOL	NOTE SCHEDULE
①	PROPOSED 6' SIDEWALK PER BCS UNIFIED DESIGN STANDARDS - MEET EXISTING WALKWAY ON BOTH ENDS
②	CONCRETE PAVING PER BCS UNIFIED DESIGN STANDARDS
③	PROPOSED ADA RAMP PER BCS UNIFIED DESIGN STANDARDS
④	EXISTING WATER TAP W/ NEW 5/8" WATER METER
⑤	IRRIGATION BACKFLOW DOUBLE-CHECK ASSEMBLY
⑥	ADA / VAN PARKING
⑦	EXISTING FIRE HYDRANT
⑧	PROPOSED SIGN 8' TALL 50 SQ. FT. SINGLE CENTER POLE MOUNT
⑨	EXISTING 4" PVC SEWER TAP AND CLEAN OUT
⑩	PROPOSED NEW 4" PRIVATE SANITARY LINE
⑪	PROPOSED NEW 2 WAY CLEANOUT
⑫	MASONRY WALL - OAH 15'-4" SEE SHEET H2 FOR DETAILS
⑬	6' PRIVACY FENCE
⑭	ELECTRICAL METER
⑮	CURB CUT FOR DRAINAGE
⑯	EXISTING POWER POLE
⑰	300 GALLON TRASH CONTAINER ON CONCRETE PAD. 6' PRIVACY FENCE W/ MATCHING GATE
⑱	LIGHT POST BENCH MARK ELEVATION

C-3
 N

Site Plan
 1 in = 10 ft

Note: Where electric facilities are installed, BTU has the right to install, operate, relocate, construct, reconstruct, add to, maintain, inspect, patrol, enlarge, repair, remove and replace said facilities upon, over, under, and across the property included in the PUE, and the right of ingress and egress on property adjacent to the PUE to access electric facilities."

DRAWINGS PROVIDED BY:
 THE Ben Brown GROUP
 (979) 739-2002
 3709 SWEETBRIAR DRIVE
 BRYAN, TEXAS
 77802

IN CONJUNCTION WITH:

SHEET TITLE:
**MECHANICS SHOP
 SITE PLAN**

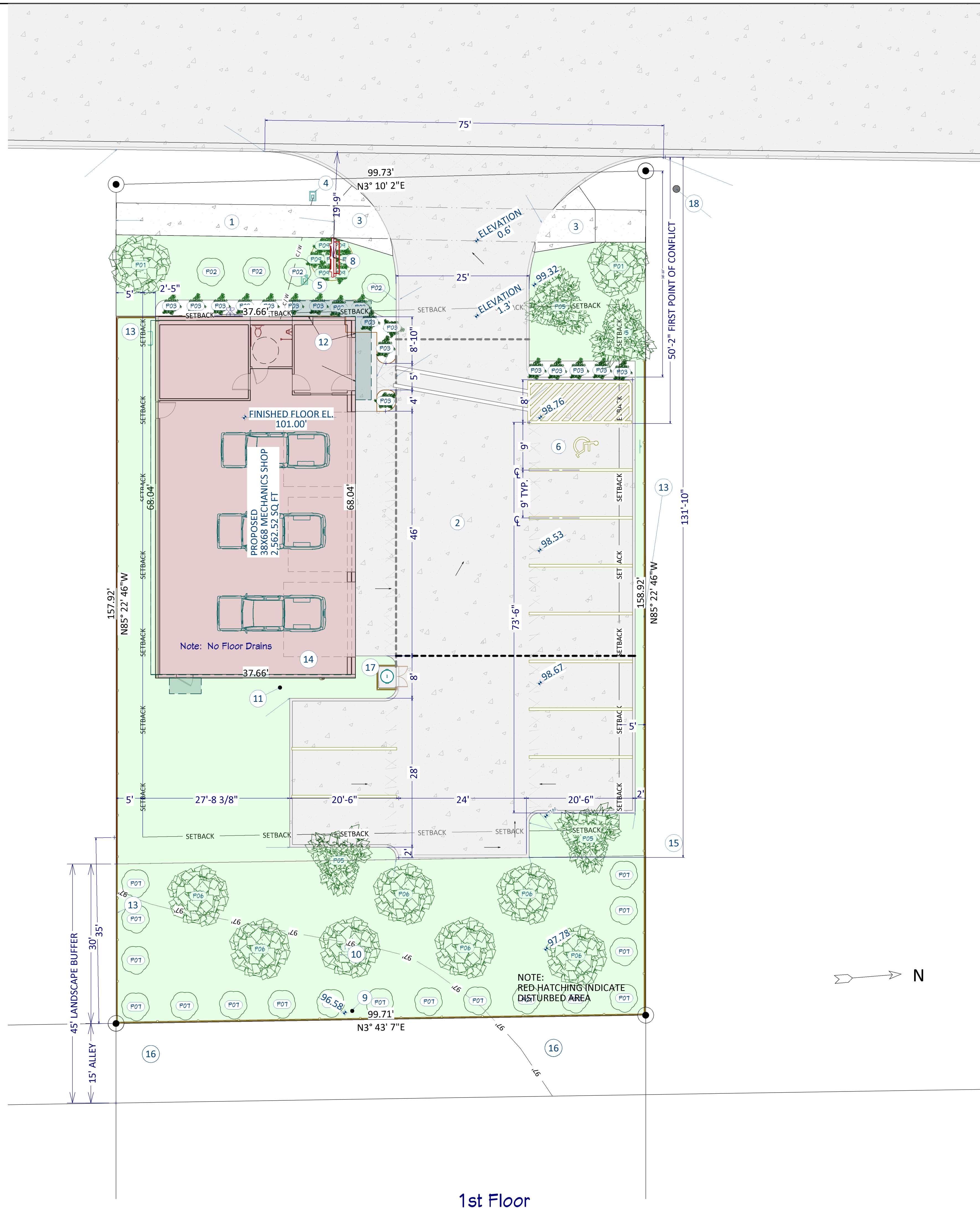
PROJECT DESCRIPTION:
 1009 S. TEXAS AVENUE
 BRYAN, TEXAS
 LOTS 3-4, BLOCK 1
 WINTERS SUBDIVISON

CLIENT INFORMATION:
 JAVIER
 SALDANA

SEAL

DATE:
 3/15/2022
 SCALE:
 FULL SCALE 24"X36"
 SHEET:

SP



1st Floor

PLANT SCHEDULE								
NUMBER	2D SYMBOL	SIZE	COMMON NAMES	SCIENTIFIC NAME	LANDSCAPE POINTS	DEDICATED USE	QTY	TOTAL
P01		1.5" TO 3" CALIPER	LIVE OAK	QUERCUS VIRGINIANA	200 FT	GENERAL LANDSCAPE	2	400
P02		> 1.5" CALIPER	CRAPE MYRTLE, CREPE MYRTLE	LAGERSTROEMIA INDICA	100 FT	GENERAL LANDSCAPE	4	400
P03		> 3 GALLON	DOUBLE KNOCK OUT ROSE	ROSA HYBRIDA	10 FT	GENERAL LANDSCAPE	18	180
P05		1.5" TO 3" CALIPER	LACEBARK ELM	ULMUS PARVIFOLIA	1 ISLAND 200 GENERAL	END ISLAND	4	800
P06		1.5" TO 3" CALIPER	LIVE OAK	QUERCUS VIRGINIANA	200 FT	BUFFER AREA	7	1400
P07		> 1.5" CALIPER	CRAPE MYRTLE, CREPE MYRTLE	LAGERSTROEMIA INDICA	100 FT	BUFFER AREA	17	1700
P09		> 3 GALLON	DOUBLE KNOCK OUT ROSE	ROSA HYBRIDA	10 FT	SIGN LANDSCAPING	7	70

BUFFER AREA REDUCTION CALCULATION		
BUFFER AREA REQUIRED	75 FT	
BUFFER AREA REDUCTION REQUESTED	30 FT	
REMAINING BUFFER	45 FT	
WIDTH OF PROPERTY ALONG BUFFER	99.71 FT	
AREA OF REQUESTED REDUCTION	2992 SQ FT	
	REQUIRED	PROVIDED
LANDSCAPE AREA NEEDED FOR BUFFER REDUCTION	2992 SQ FT	3100
LANDSCAPE AREA REQUIRED TO BE TREES	1496 SQ FT	3100
LANDSCAPE AREA REQUIRED TO BE CANOPY TREES	748 SQ FT	1400
NOTE: To ensure the growth of trees in end islands, a minimum 24-inch soil depth and 250 cubic feet of appropriate planting medium is required per tree, with topsoil mounded to a center height.		
GENERAL LANDSCAPE REQUIREMENTS		
DEVELOPED AREA	8633 SQ FT	
DEVELOPED AREA	REQUIRED	PROVIDED
LANDSCAPE AREA REQUIRED AT 15% OF DEV. AREA	1295 SQ FT	1380
TREES SHADE AND ORNAMENTAL (50% OF AREA)	648 SQ FT	1200
CANOPY TREES (50% OF REQUIRED TREES)	324 SQ FT	800
CANOPY TREES IN ISLANDS (1 PER ISLAND)	4	4
SIGN LANDSCAPING REQUIREMENTS		
BED AREA 9' DIAMTER CIRCLE AREA:	64 SQ FT	
	REQUIRED	PROVIDED
SHRUBS REQUIRED (50% OF AREA)	32	70

NOTE: Replacement of dead landscaping shall occur within 90 days of notification. Replacement material must be of similar character as the dead landscaping. Failure to replace dead landscaping, as required by the zoning official or his or her designee, shall constitute a violation of this article subject to the general penalty provisions of City Code section 1-14.

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 3709 SWEETBRIAR DRIVE
 BRYAN, TEXAS
 77802

IN CONJUNCTION WITH:

SHEET TITLE:
 LANDSCAPE PLAN

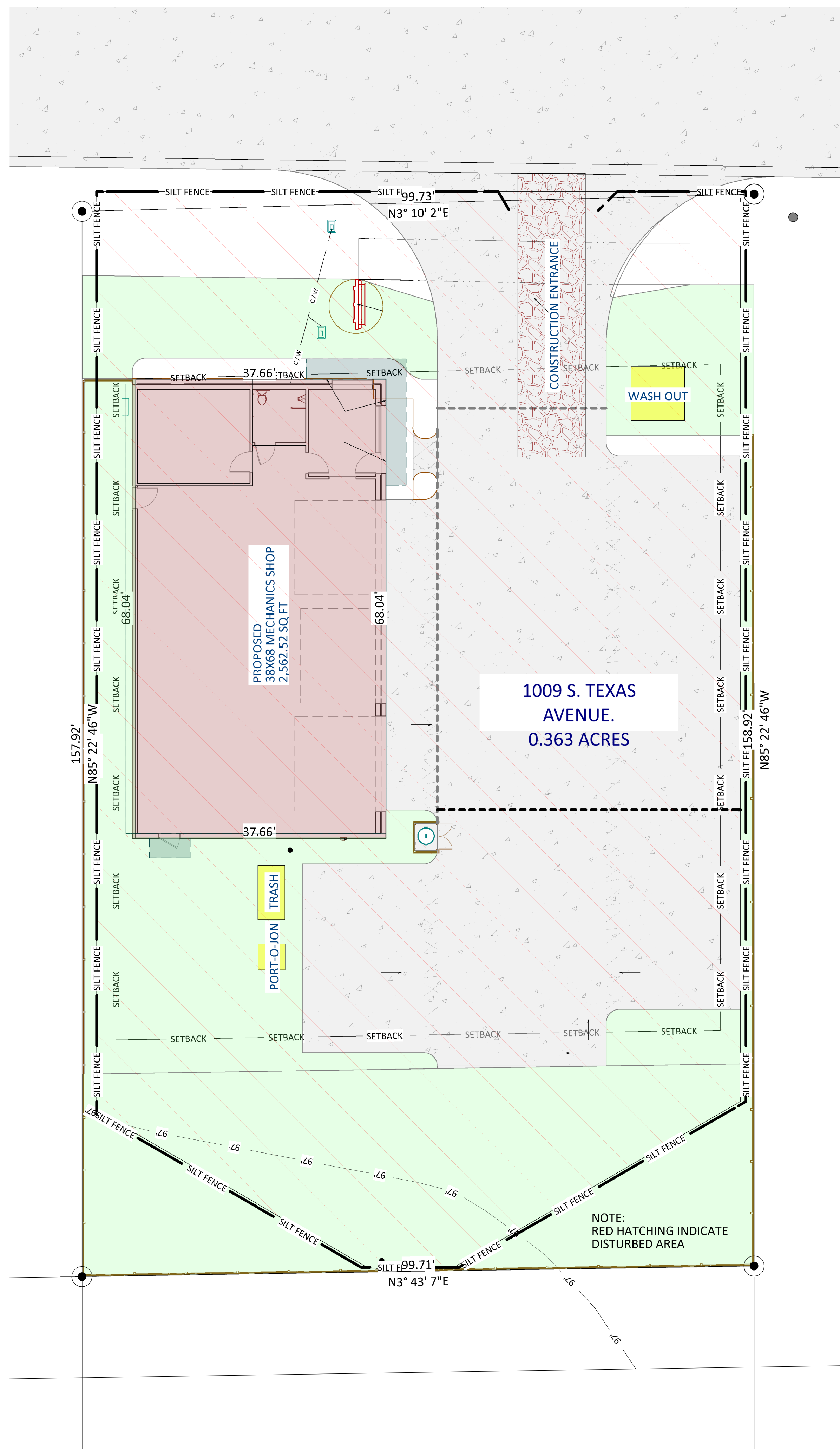
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 LOTS 3-4, BLOCK 1
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CLIENT INFORMATION:
 JAVIER SALDANA

SEAL

DATE:
 3/15/2022
SCALE:
 FULL SCALE 24"X36"
SHEET:

LP



1st Floor

DRAWINGS PROVIDED BY:

THE
Ben Brown
GROUP

(979) 739-2002

3709 SWEETBRIAR DRIVE
BRYAN, TEXAS
77802

IN CONJUNCTION WITH:

SHEET TITLE:

**EROSION
CONTROL PLAN**

PROJECT DESCRIPTION:

**1009 S. TEXAS
AVENUE
BRYAN, TEXAS
LOTS 3-4, BLOCK 1
WINTERS SUBDIVISON**

CLIENT INFORMATION:

**JAVIER
SALDANA**

SEAL

DATE:

3/15/2022

SCALE:

FULL SCALE 24"X36"

SHEET:

ECP